

# HUNTERS<sup>®</sup>

HERE TO GET *you* THERE



## Smith Street

Chapelton, S35 1WY

Asking Price £145,000



- 2 BED MID TERRACE
- GENEROUS DIMENSIONS
- IMPRESSIVE KITCHEN/DINER
- SIZEABLE GARDEN
- CLOSE TO AN ARRAY OF AMENITIES

- NO UPWARD CHAIN
- CHARACTERFUL FEATURES
- EXTRA OCCASIONAL ROOM
- GOOD COMMUTER LOCATION
- COUNCIL TAX BAND A

Tel: 0114 257 8999

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NO UPWARD CHAIN! TAKE A LOOK AROUND THIS WELL PRESENTED, SPACIOUS 2 BED MID TERRACE PROPERTY LOCATED IN THE HEART OF CHAPELTOWN, walking distance to an array of amenities and the local train station, minutes away from the M1, surrounded by reputable schools and with direct roads leading to Sheffield, Rotherham and Barnsley it is the perfect commuter location. The property boasts generous dimensions, a stylish kitchen, roomy bathroom, characterful features, cellar for extra storage, sizeable garden and with no upward chain it is ready to go! Briefly comprising living room, kitchen/diner, two good sized bedroom, further occasional room and family bathroom. Must be seen to appreciate the size and location...book now to avoid disappointment!



### Living room

12'01 x 11'11 (3.68m x 3.63m)

Through a glazed uPVC door leads into this characterful living room, boasting a charming feature fireplace with decorative tiling giving a great focal point to the room, wall mounted radiator, aerial point, front facing uPVC window and door leading through to the kitchen.

### Kitchen

12'04 x 9'04 (3.76m x 2.84m)

An impressive kitchen/diner, hosting an array of cream gloss wall and base units providing plenty of storage space, solid wood work surfaces, inset stainless steel sink and carved drainer, integrated stainless steel gas hob, electric oven, chimney style extractor hood, wall mounted radiator, rear facing uPVC window over looking the garden, door leading to the cellar head, stairs rising to the first floor and glazed uPVC door leading to the garden.

### Cellar

11'08 x 12'02 (3.56m x 3.71m)

### Bedroom 1

12'02 x 12'00 (3.71m x 3.66m)

A large, well presented master bedroom, comprising aerial point, wall mounted radiator and front facing uPVC window.

### Occasional Room

7'02 x 7'00 (2.18m x 2.13m)

A good sized single bedroom, home office, nursery or dressing room,

comprising glazed window and wall mounted radiator.

### Bathroom

12'02 x 4'10 (3.71m x 1.47m)

A generously sized family bathroom hosting bath with electric shower over, low flush WC, white pedestal sink, built in storage cupboard, wall mounted radiator and two uPVC frosted windows.

### Bedroom 2

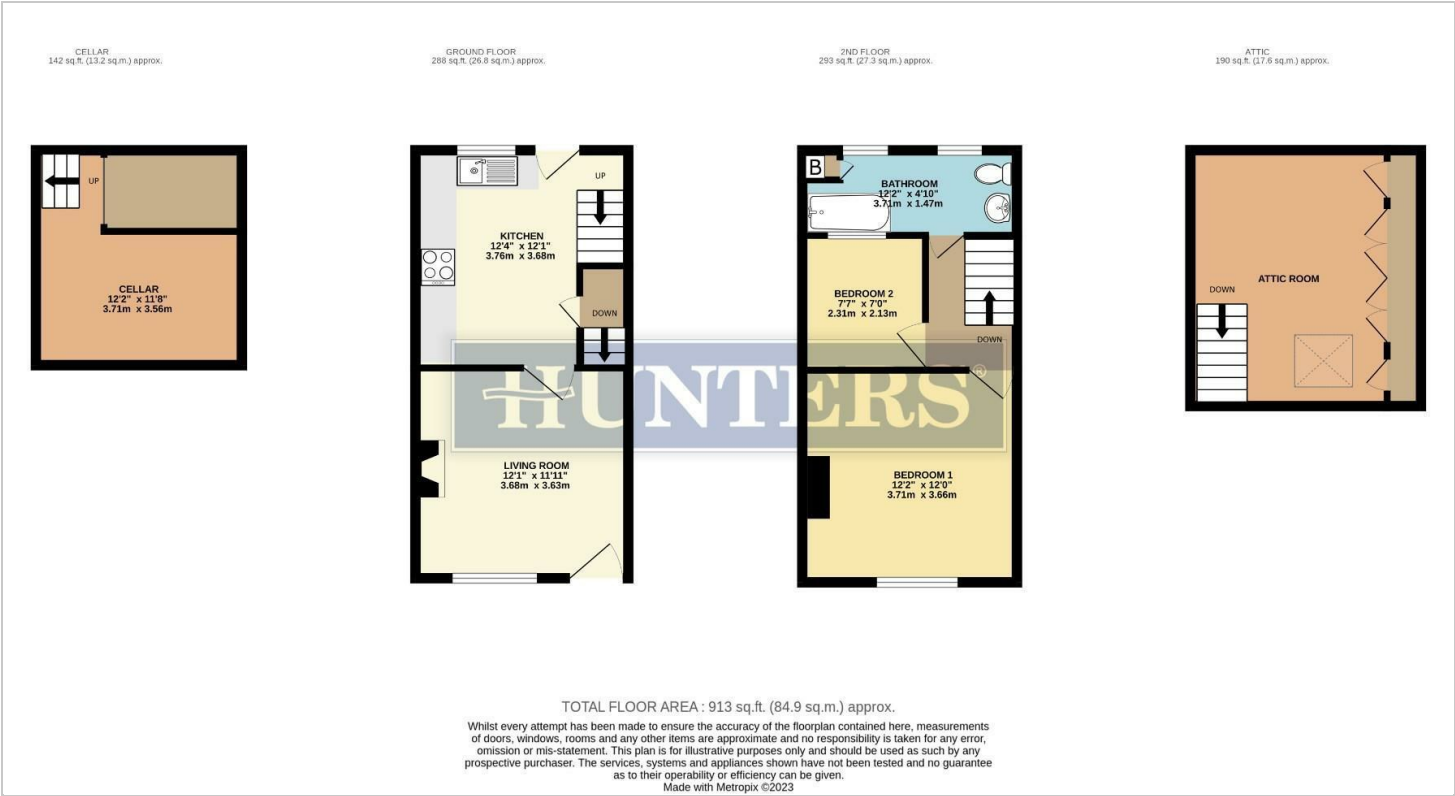
14'06 x 11'02 (4.42m x 3.40m)

A great addition to this house, hosting a wall of fitted wardrobes, also comprising exposed beams, Velux window and wall mounted radiator.

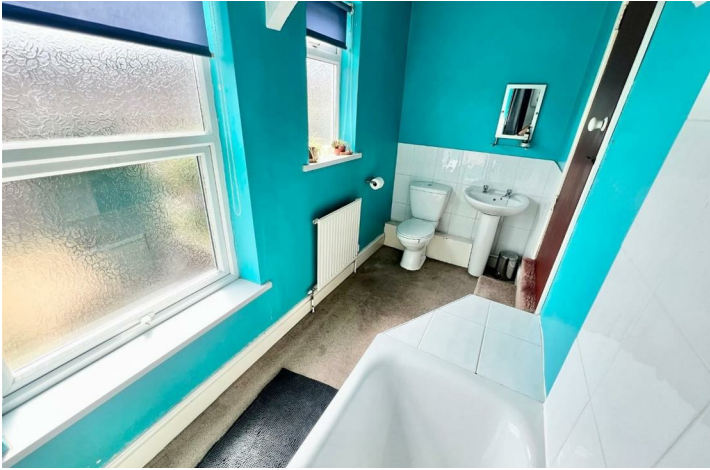
### Exterior

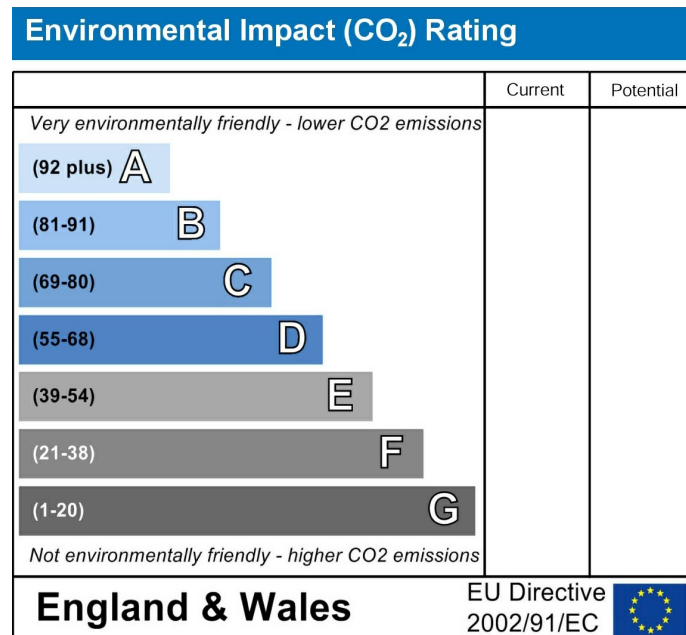
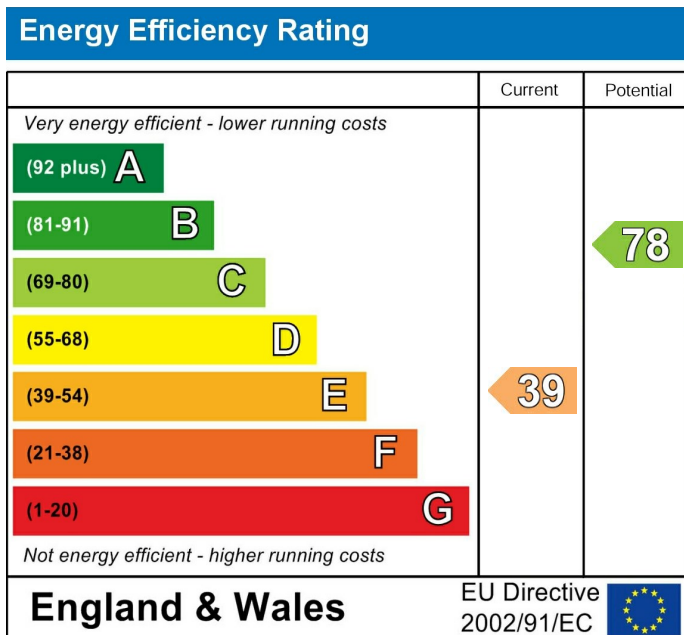
To the rear of the property is a sun drenched, fully enclosed garden benefiting from no shared access, mainly laid to lawn, shed for outdoor storage, outdoor tap and sizable patio area perfect for entertaining in the summer months. Ample on street parking available on Smith St.

Floorplan







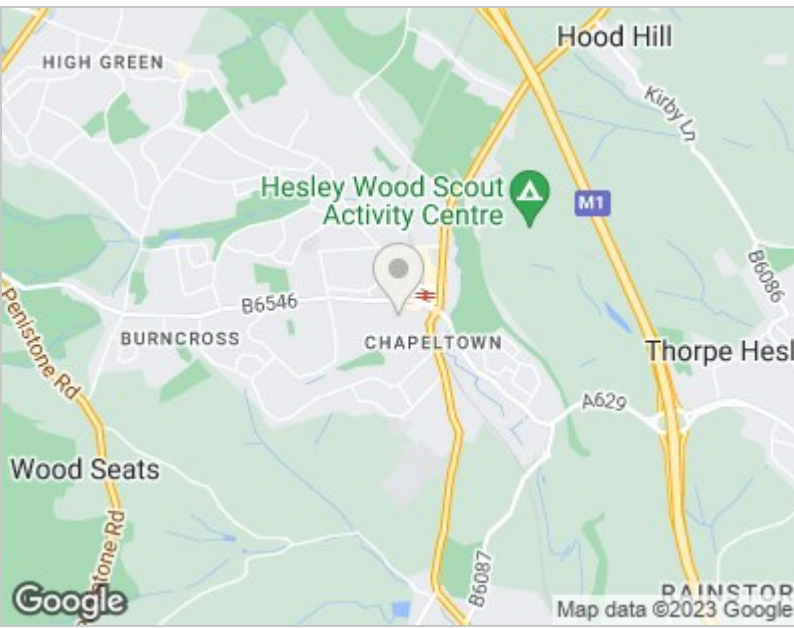


Energy Efficiency Graph

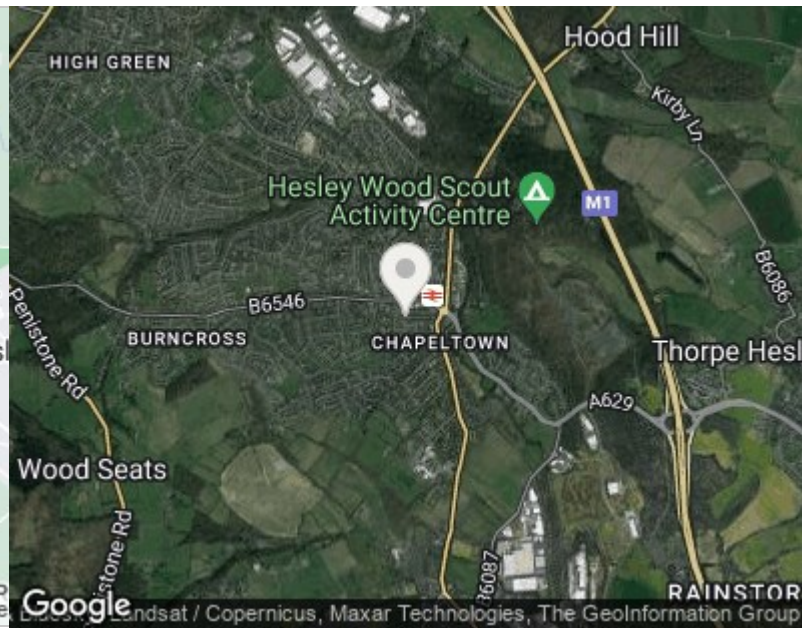
## Viewing

Please contact our Hunters Chapeltown Office on 0114 257 8999 if you wish to arrange a viewing appointment for this property or require further information.

Road Map



Hybrid Map







These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances - All measurements are approximate.

**THINKING OF SELLING?** If you are thinking of selling your home or just curious to discover the value of your property, Hunters would be pleased to provide free, no obligation sales and marketing advice. Even if your home is outside the area covered by our local offices we can arrange a Market Appraisal through our national network of Hunters estate agents.

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